

CONTRACT, LEASE, AGREEMENT CONTROL FORM

Date: 05/13/2019

Contract/Lease Control #: C19-2807-PW

Procurement#: NA

Contract/Lease Type: AGREEMENT

Award To/Lessee: CITY OF DESTIN

Owner/Lessor: OKALOOSA COUNTY

Effective Date: 05/07/2019

Expiration Date: INDEFINITE

Description of Contract/Lease: PARKING IMPROVEMENTS

Department: PW

Department Monitor: AUTREY

Monitor's Telephone #: 850-651-5772

Monitor's FAX # or E-mail: JAUTREY@MYOKALOOSA.COM

Closed:

Cc: Finance Department Contracts & Grants Office

MEMORANDUM OF UNDERSTANDING

THIS MEMORANDUM OF UNDERSTANDING is entered into this ____ day of MAY 07 2019, 2019, between the City of Destin, a municipal corporation of the State of Florida (the "City" or "Owner"), and Okaloosa County, Florida (the "County" or "Contractor").

WHEREAS, the County owns and maintains James Lee Park and its adjacent parking area a portion of which is on the City's right of way; and

WHEREAS, there is a need to provide improvements to the parking area, including expansion of the parking surface area which would be located on the City's right of way; and

WHEREAS, the parties have worked together and arrived at a mutual agreement as to the responsibility for the conducting of the improvements and expansion of the parking area; and

WHEREAS, the proposed improvements do not constitute a change in the use or commercial square footage of the existing County park; and

WHEREAS, the expansion to the parking lot will provide additional public parking spaces available for City residents, County residents, or the general public for no charge; and

WHEREAS, the County has agreed to improve and continue maintenance at its cost the parking area including that which will encroach on the City's right of way.

NOW, THEREFORE, it is agreed by the parties as follows:

1. The above recitals are true and correct and incorporated into this MOU.

2. The City hereby authorizes the County to utilize the portion of its right of way depicted in Exhibit "A" attached hereto, for purposes of expanding the parking surface of the parking area of James Lee Park. All improvements shall be done and completed at the County's expense. The City and County acknowledge and agree that all references to the "Contractor" in Exhibit A means the County, and all references to the "Owner" in Exhibit A means the City.

3. Once improvements are made, the County shall maintain, at its cost, the improvements along with the rest of its parking area. The City shall not unreasonably interfere with the County's use of the portion of the right of way nor create an impediment to its use. The County shall ensure that it does not damage any City right of way. If the County damages the City right of way, the County shall repair the City right of way and the County's expense.

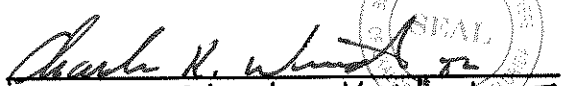
4. The parties upon mutual agreement may expand the scope of the contract when appropriate pursuant to a written amendment to this MOU. The written amendment must be mutually agreed to by the parties and executed by both parties.


5. This MOU will continue unless terminated by either party. Either party may terminate this MOU upon 180 days' notice in writing to the other party.

6. Each party agrees that it shall be solely responsible for the negligent or wrongful acts of its employees and agents. However, nothing contained herein shall be constructed to waive either party's immunity from liability under the doctrine of sovereign immunity or Section 768.28, Florida Statutes.


DONE AND AGREED this 5th day of APRIL, 2019.

Okaloosa County, Florida


Chairman Charles K. Windes, Jr.



City of Destin, Florida

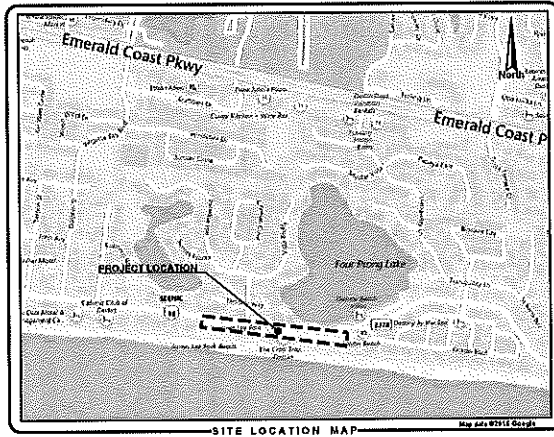
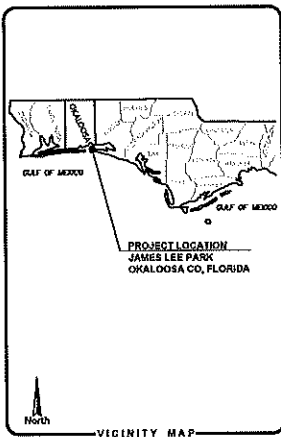

Mayor

CIVIL DESIGN DRAWINGS FOR:

JAMES LEE PARK PARKING LOT IMPROVEMENTS

PARCEL ID: 00-2S-22-0000-0033-0010
OKALOOSA COUNTY, CITY OF DESTIN, FL

SECTION 00 TOWNSHIP 2 SOUTH RANGE 22 WEST



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C-13	MISCELLANEOUS DETAILS (1 OF 3)
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C-15	MISCELLANEOUS DETAILS (3 OF 3)

ENGINEER:



AVCON, INC.
ENGINEERS & PLANNERS
332 BAYSHORE DRIVE, SUITE A - INVERNESS, FL 32718-2422
OFFICE (904) 212-2000
CORPORATE CERTIFICATE OF AUTHORIZATION NUMBER: 5687
WWW.AVCON.COM

MUNICIPALITY CITY OF DESTIN
WATER/SEWER WATER SYSTEMS WATER UTILITIES, INC.
POWER, GULF POWER
GULF OKALOOSA GAS

PREPARED FOR:



OKALOOSA COUNTY PUBLIC WORKS
CONTACT: JASON AUTREY, P.E.
1789 S. FERDON BLVD.
CRESTVIEW, FL 32636
PHONE: (850) 689-6772

LEGAL DESCRIPTION:

369 67.65 FT S OF SE COR BLK 1 CRYSTAL BCH S/D E 896 FT S 33 FT TO POB E 1500 FT S TO W/2 NE/4 S/D W/2 TO PT S OF BEG N TO POB (100-1558 LAND ONLY/ACROSS ON 0033-0010 CONSERVATION LAND, DEP 10/01 CLS4292, SHOAL RIVER LAND ACQUISITION, JAMES LEE PARK BEACH)

AVCON, INC.
ENGINEERS & PLANNERS
332 BAYSHORE DRIVE, SUITE A
INVERNESS, FL 32718-2422
OFFICE (904) 212-2000
CORPORATE CERTIFICATE OF AUTHORIZATION NUMBER: 5687
WWW.AVCON.COM

TOMAS & MATSON
FL LICENSE NO. 04811
PAPE CERTIFICATE OF AUTHORIZATION NO. 5687

COVER SHEET
DRAFT
S&M DESIGN DRAWINGS

JAMES LEE PARK
PREPARED FOR
OKALOOSA COUNTY
PUBLIC WORKS

DESIGNED BY: TOMAS & MATSON
DRAWN BY: V.M.
CHECKED BY: T.M.
APPROVED BY: V.C.L.
PROJECT NO: 11818-01
DATE: JANUARY 15, 2018
SHEET NUMBER
C-1

BASE BID: SUMMARY OF QUANTITIES			
BID ITEM	ITEM DESCRIPTION	UNIT	BID QUANTITY
101-1	MOBILIZATION	EA	1
101-1	MAINTENANCE OF TRAFFIC	EA	1
101-1	EROSION/POLLUTION CONTROL	EA	1
110-1	MISC DEMOS (TREES, GUARDRAIL, SIGN/STOPS)	EA	1
110-2	PAVEMENT MILLING 1"	SY	1,430
200-1	1" BASE COURSE	SY	880
200-1	1" STABILIZED SUBGRADE	SY	720
210-1	1" BITUMINOUS SURFACE COURSE	SY	80
210-2	2" BITUMINOUS SURFACE COURSE	SY	10
310-1	CONCRETE MODIFIED TYPE 1 CURB	LF	1,660
310-1	CONCRETE SIDEWALK	SY	10
310-1	PARKING LOT STRIPING (WHITE)	SY	1,000
310-1	PARKING LOT STRIPING (YELLOW)	SY	80
310-1	PARKING LOT STRIPING (HANDICAP)	EA	0
310-1	HANDICAPING	EA	1

ADDITIVE ALTERNATIVE #1: SUMMARY OF QUANTITIES			
BID ITEM	ITEM DESCRIPTION	UNIT	BID QUANTITY
101-1	MOBILIZATION	EA	1
101-1	PAVEMENT MILLING 1"	SY	4,870
300-1	1" BITUMINOUS SURFACE COURSE	SY	270
310-1	PARKING LOT STRIPING (WHITE)	SY	1,270
310-1	PARKING LOT STRIPING (YELLOW)	SY	300
310-1	PARKING LOT STRIPING (HANDICAP)	EA	0

NOTES:

- PAY ITEM 101-1 SHALL INCLUDE ALL MOBILIZATION COSTS, SIGN REPLACEMENT, RELOCATION, AND REMOVAL DURING ANY SIGN REMOVAL/REPLACEMENT CONSTRUCTION SHALL BE INCIDENTAL TO PAY ITEM 101-1.
- PAY ITEM 101-1 SHALL INCLUDE MAINTENANCE OF TRAFFIC FOR BOTH VEHICLES AND PEDESTRIANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING PARALLEL LOT ACCESS DURING CONSTRUCTION. A SUGGESTED TRAFFIC PLAN HAS BEEN PROVIDED FOR DRIVE CLOSURES. CONTRACTOR SHALL ALSO PROVIDE TEMPORARY FENCING/BARRIERS TO PROTECT PEDESTRIANS AND VEHICLES DURING CONSTRUCTION. PROTECTIVE SIGNAGE SHALL BE INCIDENTAL TO THE PAY ITEM. TEMPORARY FENCING SHALL BE 6' HIGH ORANGE UFG.
- PAY ITEM 101-1 SHALL INCLUDE PROTECTION OF EXISTING UTILITY AND STORM STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION THAT ARE TO REMAIN AND NOT BE MOVED AS PART OF THE PROPOSED SCOPE OF WORK.
- PAY ITEM 300-1 SHALL BE AN ALLOWANCE. THE CONTRACTOR SHALL ONLY RECEIVE REIMBURSEMENT FROM THE ALLOWANCE FOR THE AMOUNT WHICH IS INVOICED BY AN INDEPENDENT PARTY OR AS OTHERWISE APPROVED IN WRITING BY THE OWNER PRIOR TO WORK. AS A RESULT, THE AMOUNT PAID TO THE CONTRACTOR FROM THE ALLOWANCE MAY BE LESS THAN THE ALLOWANCE AMOUNT.

AVCON, INC.
 ENGINEERING AND ARCHITECTURE
 10000 W. 10TH AVENUE, SUITE 100
 DENVER, CO 80202
 PHONE: (303) 751-1000
 WWW.AVCONINC.COM

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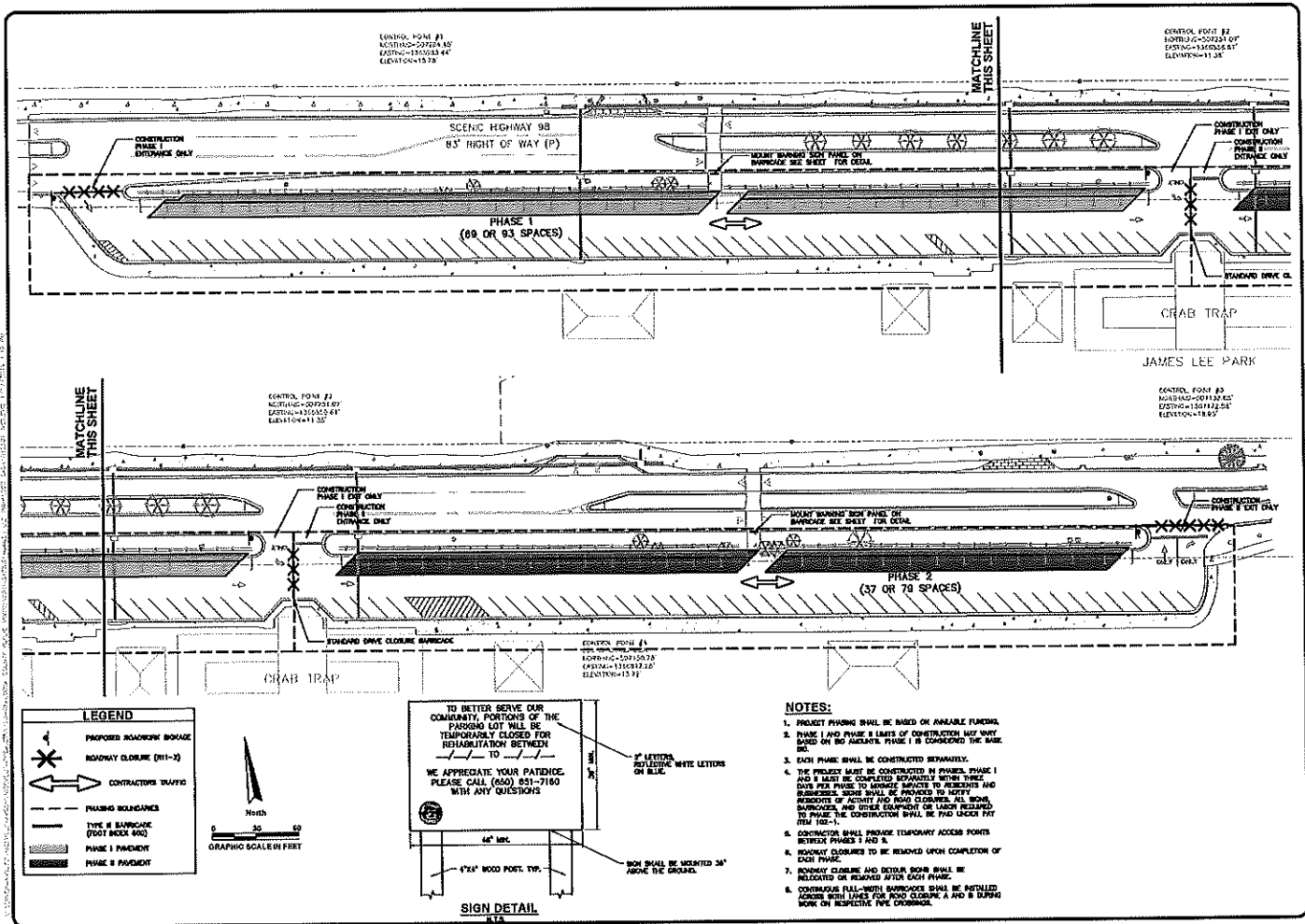
TOTAL \$: \$100,000
 FLORIDA REG. NO. 12345
 TAXPAYER IDENTIFICATION NO. 1234567890
 ALTERNATIVE FORM NO. 6000

NO.	DESCRIPTION	DATE	BY

SUMMARY OF QUANTITIES
 CHECKED BY: [Signature]
 DATE: [Date]
 SHEET NO. [Number]

JAMES LEE PARK
 PREPARED BY:
OKALOOSA COUNTY
PUBLIC WORKS

DESIGNED BY: TSH/MS
 CHECKED BY: TSH
 APPROVED BY: VCS
 PROJECT NO.: 1812040
 DATE: JANUARY 13, 2018
 SHEET NUMBER:
C-3



AVCON, INC.
ENGINEERS & PLANNERS

2750 N. 10TH AVENUE
DENVER, CO 80202

TEL: (303) 733-8888
WWW.AVCONINC.COM

AVCON

TOMAS & NATION
REGISTERED PROFESSIONAL ENGINEERS
800 WEST 19TH AVENUE, SUITE 300
DENVER, CO 80202
TEL: (303) 733-8888

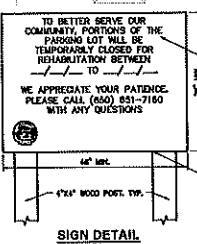
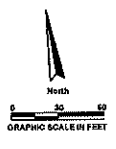
MAINTENANCE OF TRAFFIC & PHASING PLAN
DESIGNED BY: TOMAS & NATION
CHECKED BY: YONNIE
APPROVED BY: YONNIE
PROJECT NO: 18101001
DATE: JANUARY 21, 2018

JAMES LEE PARK
PHASING PLAN
OKALOOSA COUNTY PUBLIC WORKS

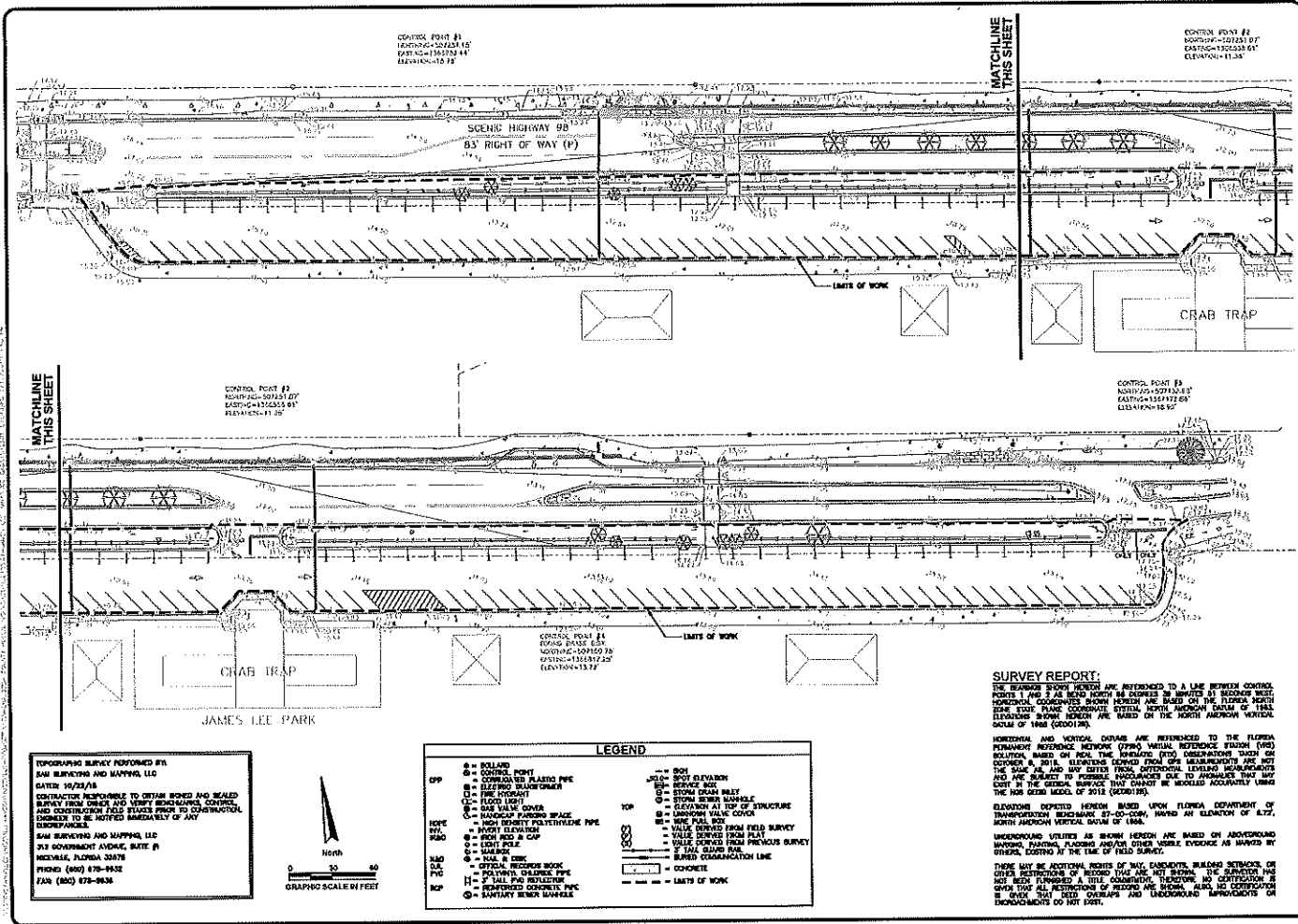
DESIGNED BY: TOMAS & NATION
CHECKED BY: YONNIE
APPROVED BY: YONNIE
PROJECT NO: 18101001
DATE: JANUARY 21, 2018

SHEET NUMBER
C-4

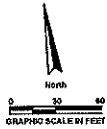
- LEGEND**
- PROPOSED ROADWORK BARRICADE
 - ROADWAY CLOSURE (R11-2)
 - CONTRACTORS TRAFFIC
 - PHASING BOUNDARIES
 - TYPE II BARRICADE (POST WORK #40)
 - PHASE I PAVEMENT
 - PHASE II PAVEMENT



- NOTES:**
1. PROJECT PHASING SHALL BE BASED ON AVAILABLE FUNDS.
 2. PHASE I AND PHASE II LIMITS OF CONSTRUCTION MAY VARY BASED ON SO AVAILABLE. PHASE I IS CONSIDERED THE WISE BE.
 3. EACH PHASE SHALL BE CONSTRUCTED SEPARATELY.
 4. THE PROJECT SHALL BE CONSTRUCTED IN PHASES. PHASE I AND II SHALL BE COMPLETED SEPARATELY WITHIN THREE DAYS PER PHASE TO MINIMIZE IMPACTS TO RESIDENTS AND BUSINESSES. SIGNS SHALL BE PROVIDED TO NOTIFY RESIDENTS OF ACTIVITY AND ROAD CLOSURES. ALL BARRICADES, BUREAU AND OTHER EQUIPMENT OR LABOR REQUIRED TO MAINTAIN THE CONSTRUCTION SHALL BE PAID UNDER ITEM 102-1.
 5. CONSTRUCTION SHALL PROVIDE TEMPORARY ACCESS POINTS BETWEEN PHASE I AND II.
 6. ROADWAY CLOSURES TO BE REMOVED UPON COMPLETION OF EACH PHASE.
 7. ROADWAY CLOSURE AND DETOUR SIGNS SHALL BE DELIVERED OR REMOVED AFTER EACH PHASE.
 8. CONSTRUCTION FULL-WIDTH BARRICADES SHALL BE INSTALLED AGAINST BOTH SIDES FOR ROAD CLOSURE A AND B DURING WORK ON RESPECTIVE PAVE CHANNEL.



TOPOGRAPHIC SURVEY PERFORMED BY:
SAM SURVEYING AND MAPPING, LLC
DATE: 10/25/18
CONTRACTOR RESPONSIBLE TO OBTAIN BORED AND SEALED
SERVITY FROM OWNER AND VERIFY MEASUREMENTS, CORRECTIONS,
AND CONSTRUCTION FIELD STAKES PRIOR TO CONSTRUCTION.
CORRECTIONS TO BE NOTIFIED IMMEDIATELY OF ANY
DISCREPANCIES.
SAM SURVEYING AND MAPPING, LLC
313 GOVERNMENT AVENUE, SUITE #1
MOBILE, ALABAMA 36688
PHONE: (800) 878-9838
FAX: (800) 878-9838



LEGEND

● = BOLLARD	--- = BOX
○ = CONTROL POINT	UPL = SPOT ELEVATION
⊖ = CONCRETE PLASTIC PIPE	SR = SERVICE ROAD
⊕ = ELECTRICAL SUBSTATION	SRM = STORM DRAIN MANHOLE
⊞ = FINE PROBE	⊙ = STORM SEWER MANHOLE
⊟ = FLOOD LIGHT	⊚ = ELEVATION AT TOP OF STRUCTURE
⊠ = GAS VALVE COVER	⊛ = LINDENHOLM VALVE COVER
⊡ = HIGH DENSITY POLYETHYLENE PIPE	⊜ = PIPE PULL BOX
⊢ = IRON PIPE	⊝ = VALVE DERIVED FROM FIELD SURVEY
⊣ = IRON PIPE & CAP	⊞ = VALVE DERIVED FROM PLAT
⊤ = LIGHT POLE	⊟ = VALVE DERIVED FROM PREVIOUS SURVEY
⊥ = MANHOLE	⊠ = TALL SLURRY WALL
⊦ = MAN & OIL	⊡ = BURIED COMMUNICATION LINE
⊧ = OFFICIAL RECORD BOOK	⊢ = CONCRETE
⊨ = PATENTED SURVEYING TYP	⊣ = REINFORCED CONCRETE PIPE
⊩ = 2" TALL PWD REFLECTOR	⊤ = LIMITS OF WORK
⊪ = SANITARY SEWER MANHOLE	

SURVEY REPORT:
THE HORIZONTAL POINTS HEREON ARE REFERENCED TO A LINE BETWEEN CONTROL POINTS 1 AND 2 AS BEING KNOWN AS SHOWN IN PARAGRAPH 11. RECORDS MUST BE MAINTAINED ON THIS LINE. THE HORIZONTAL COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA NORTH STATE COORDINATE SYSTEM. THE VERTICAL COORDINATES SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD83).
HORIZONTAL AND VERTICAL COORDINATES ARE REFERENCED TO THE FLORIDA PERMANENT REFERENCE NETWORK (FPRN) WITHIN REFERENCE STATION (RFS) SECTION BASED ON THE 1988 (2011) COORDINATE SYSTEM. THE HORIZONTAL COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA NORTH STATE COORDINATE SYSTEM. THE VERTICAL COORDINATES SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD83).
ELEVATIONS REPORTED HEREON ARE BASED UPON FLORIDA DEPARTMENT OF TRANSPORTATION BENCHMARK 87030-COM, HAVING AN ELEVATION OF 87.72 NORTH AMERICAN VERTICAL DATUM OF 1988.
UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVEGROUND MAPPING, PLACING AND/OR OTHER VISIBLE EVIDENCE AS SHOWN BY OTHER, EXISTING AT THE TIME OF FIELD SURVEY.
THERE MAY BE ADJACENT RIGHTS OF WAY, EASEMENTS, BUILDING SETBACKS, OR OTHER RESTRICTIONS OF RECORD THAT ARE NOT SHOWN. THE CONTRACTOR HAS NOT BEEN FURNISHED A TITLE COMMITMENT. THEREFORE, NO GUARANTEE IS GIVEN THAT ALL RESTRICTIONS OF RECORD ARE SHOWN. ALSO, NO GUARANTEE IS GIVEN THAT FIELD OVERLAPS AND UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS DO NOT EXIST.

AVCON, INC.
ENGINEERS & PLANNERS
3300 GULF BLDG 200
MOBILE, AL 36688
COMMERCIAL LICENSE NO. 1825
RESIDENTIAL LICENSE NO. 1826
WWW.AVCONINC.COM

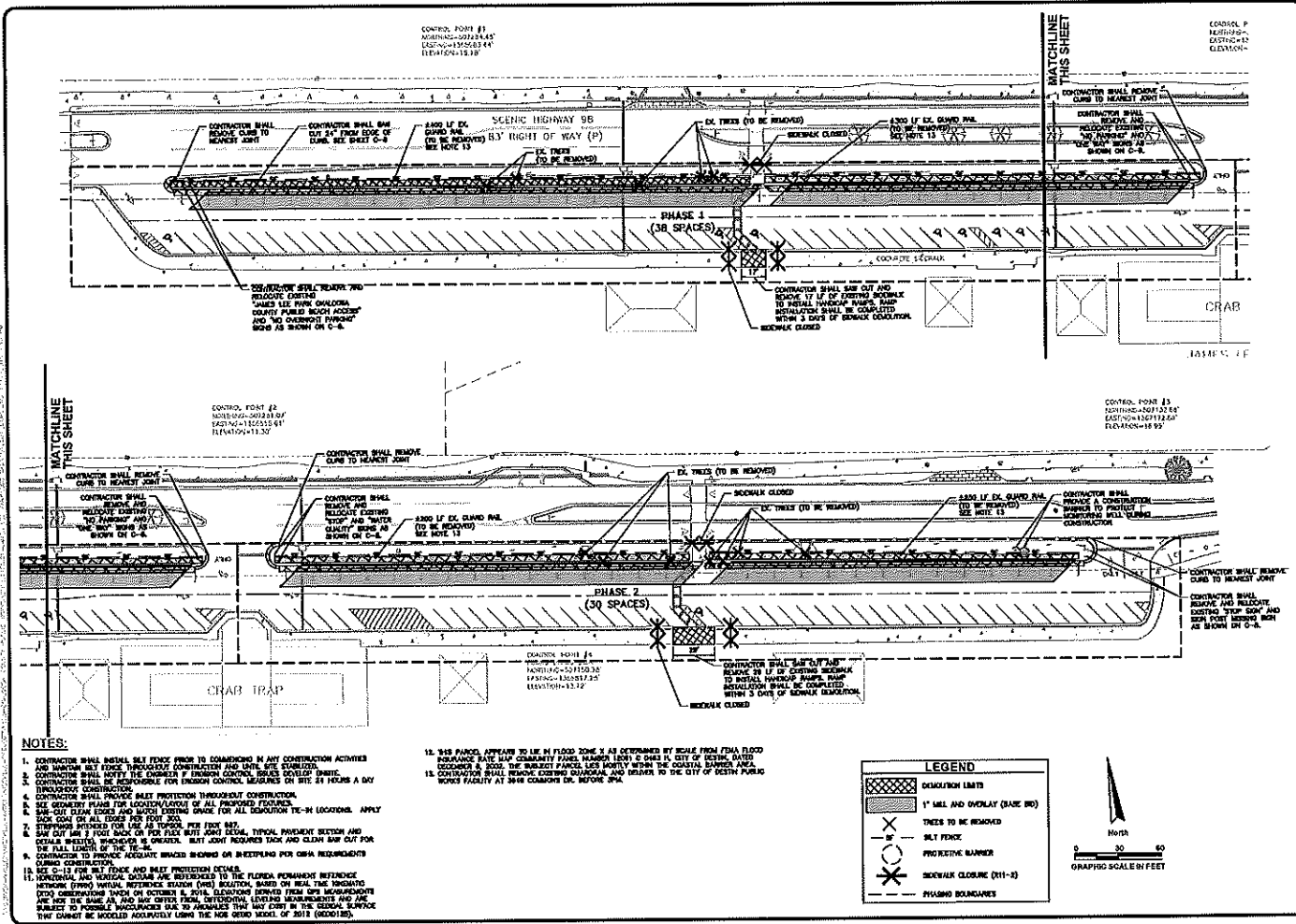
AVCON
PROFESSIONAL ENGINEERING
REGISTERED PROFESSIONAL ENGINEER
STATE OF ALABAMA LICENSE NO. 1825

TORRES M. NELSON
FLORIDA LICENSE NO. 18481
FARR REGISTERED PROFESSIONAL ENGINEER
STATE OF ALABAMA LICENSE NO. 18481

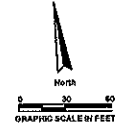
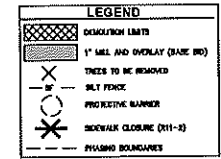
JAMES LEE PARK
MOBILE, ALABAMA
OCALA COUNTY
PUBLIC WORKS

DESIGNED BY: TORRES
DRAWN BY: YHS
CHECKED BY: TOR
APPROVED BY: YHS
PROJECT NO.: 181818P
DATE: JANUARY 30, 2019

SHEET NUMBER
C-5



- NOTES:**
- CONTRACTOR SHALL INSTALL SILT FENCE PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES AND MAINTAIN SILT FENCE THROUGHOUT CONSTRUCTION AND SITE STABILIZATION.
 - CONTRACTOR SHALL NOTIFY THE DISTRICT OF ENVIRONMENTAL SERVICES DEVELOPMENT DIVISION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND OBTAINING A DAY DEMOLITION CONSTRUCTION.
 - CONTRACTOR SHALL PROVIDE SILENT PROTECTION THROUGHOUT CONSTRUCTION.
 - SEE GEOMETRY PLANS FOR LOCATION/DETAILS OF ALL PROPOSED FEATURES.
 - SHOULDER CROWN EDGES AND SLOPE DRAINAGE DROPPERS FOR ALL DEMOLITION TE-M LOCATIONS. APPLY SLOPE COAT ON ALL EDGES PER FOUR 300.
 - STRENGTH PROVIDED FOR USE AS TOPPER PER FOUR 887.
 - SAW CUT JAY 3 FOOT BACK ON PER FLEX BUILT JOINT DETAIL, TYPICAL PAVEMENT SECTION AND DETAILS SHEETS, WHICH IS CORRECT. SILENT JOINT REQUIRED THICK AND CLEAN SAW CUT FOR THE FULL LENGTH OF THE TE-M.
 - CONTRACTOR TO PROVIDE APPROPRIATE BRACIS SHOWING OR BRACKETING FOR OSHA REQUIREMENTS DURING CONSTRUCTION.
 - SEE C-11 FOR SILENT FENCE AND SILENT PROTECTION DETAILS.
 - HORIZONTAL AND VERTICAL DATUMS ARE REFERENCED TO THE FLORIDA PERMANENT REFERENCE NETWORK (FPRN) METRIC REFERENCE STATION (MRS) SOLUTION, BASED ON REAL TIME KINEMATIC (RTK) OBSERVATIONS SINCE OCTOBER 8, 2018. ELEVATIONS DERIVED FROM GPS MEASUREMENTS ARE NOT THE SAME AS AND MAY DIFFER FROM CERTAIN SURVEY MEASUREMENTS AND ARE SUBJECT TO POSSIBLE REWORKS DUE TO ADJUSTMENTS THAT MAY OCCUR IN THE SURVEY SURFACE THAT CANNOT BE MODELLED ACCURATELY USING THE MOST RECENT MODEL OF 2018 (MODIFIED).
 - SEE PARCEL APPEARS TO BE IN FLOOD ZONE X AS DETERMINED BY SCALE FROM FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 12001-0-0483 IS CITY OF DESTIN, DATED SEPTEMBER 8, 2006. THE SUBJECT PARCEL LIES WHOLLY WITHIN THE COASTAL BARREN AREA.
 - CONTRACTOR SHALL REMOVE EXISTING QUADRANT AND DELIVER TO THE CITY OF DESTIN PUBLIC WORKS DEPARTMENT AT 3948 COMBENT DR. DESTIN, FL.



AVCON, INC.
 ENGINEERS & PLANNERS
 1000 W. GULF BLVD., SUITE 200
 DEERFIELD BEACH, FL 33442
 PHONE: (561) 993-1111
 FAX: (561) 993-1112
 WWW.AVCONINC.COM

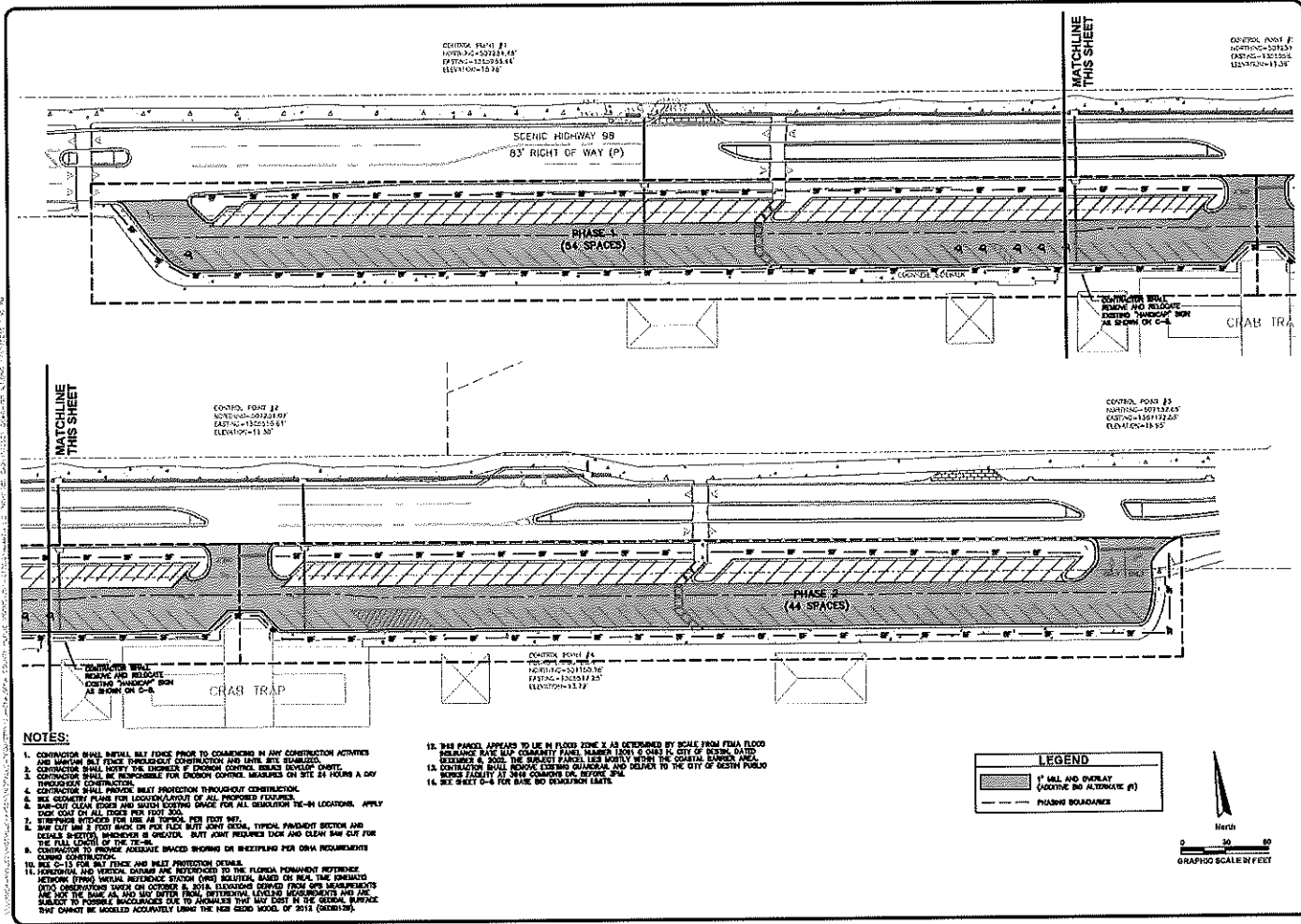
AVCON

TOMAS D. RATION
 LICENSE NO. 48481
 FAPA CERTIFICATE OF
 AUTHORIZATION NO. 0001

DEMOLITION & EROSION CONTROL PLAN (BASE BID)
 JAMES LEE PARK
 PREPARED FOR
 OKALOOSA COUNTY
 PUBLIC WORKS

DESIGNED BY: LSW/VSP
 DRAWN BY: YWB
 CHECKED BY: TWH
 APPROVED BY: YCL
 PROJECT NO: 181126M
 DATE: JANUARY 02, 2019

SHEET NUMBER
C-6



CONTROL POINT #1
 NORTHING=22123.44
 EASTING=132123.44
 ELEVATION=15.76

CONTROL POINT #2
 NORTHING=20123.25
 EASTING=130172.25
 ELEVATION=15.95

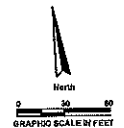
CONTROL POINT #3
 NORTHING=20123.25
 EASTING=130172.25
 ELEVATION=11.57

CONTROL POINT #4
 NORTHING=20123.25
 EASTING=130172.25
 ELEVATION=11.77

- NOTES:**
- CONTRACTOR SHALL INSTALL SILT FENCES PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES AND MAINTAIN SILT FENCES THROUGHOUT CONSTRUCTION AND UNTIL SITE STABILIZED.
 - CONTRACTOR SHALL NOTIFY THE ENGINEER OF EROSION CONTROL MEASURES DEVELOPED.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL MEASURES ON SITE 24 HOURS A DAY THROUGHOUT CONSTRUCTION.
 - CONTRACTOR SHALL PROVIDE SUFFICIENT PROTECTION THROUGHOUT CONSTRUCTION.
 - SEE CONSTRUCTION PLAN FOR LOCATION/DETAILS OF ALL PROPOSED FEATURES.
 - SHOULDER CLEAN EDGES AND WATER COATING DRAINAGE FOR ALL DEMOLITION-THE-IN LOCATIONS. APPLY SLOTTED CURB ON ALL TOES PER FOOT SOG.
 - STRENGTHEN INTERLOCK FOR USE AS TOPSOIL PER FOOT SOG.
 - SHOULDER 18" FOOT BACK ON FOR EACH BUTT JOINT SEAM, TYPICAL PAVEMENT SECTION AND DETAILS SPECIFIED, WHICHEVER IS REQUIRED. BUTT JOINT REQUIRES TACK AND CLEAN SAW CUT FOR THE FULL LENGTH OF THE JOINT.
 - CONTRACTOR TO PROVIDE ADEQUATE BRACED SHORING OR SKELETON PER OSHA REQUIREMENTS DURING CONSTRUCTION.
 - SEE C-15 FOR SILT FENCE AND SILT PROTECTION DETAILS.
 - VERTICAL AND HORIZONTAL CURVES ARE REFERENCED TO THE FLORIDA PERMANENT REFERENCE NETWORK (FPRN) WITHIN REFERENCE STATION (RHS) SOLUTIONS BASED ON NAD 83. THE CORRECTIONS TO THE ORIGINAL DATA ON COORDINATE & CURVE EXCLUDED SHOULD BE USED FOR ALL MEASUREMENTS AND ARE SUBJECT TO POSSIBLE INCREASES DUE TO ANOMALIES THAT MAY EXIST IN THE GEOD. SURFACE. THIS SHOULD BE MODELED ACCURATELY USING THE NAD 83 MODEL OF 2011 (GEOID11M).
 - THIS PANEL APPEARS TO BE IN FLOOD ZONE 2, AS DETERMINED BY SCALE FROM FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 13001-0-0016, CITY OF PENSACOLA, FLORIDA, BEHAVIOR & SOLE. THE SUBJECT PANEL LIES WHOLLY WITHIN THE COASTAL HAZARD AREA.
 - CONTRACTOR SHALL REMOVE EXISTING OVERPASS AND REDACT TO THE CITY OF PENSACOLA WATER FACILITY AT 3646 CONVERSE DR. BEFORE SPA.
 - SEE SHEET C-4 FOR BAY 80 DEMOLITION DATA.

LEGEND

- 1' FILL AND OVERLAY (ADDITIONAL ALTERNATE #)
- PHASING BOUNDARIES



AVCON, INC.
 ENGINEERS & PLANNERS
 1000 W. 10TH AVENUE, SUITE 100
 OKALOOSA, FLORIDA 32570
 PHONE: 904.261.1111
 FAX: 904.261.1112
 WWW.AVCONINC.COM

AVCON
 PROFESSIONAL ENGINEERING FIRM
 LICENSE NO. 12123

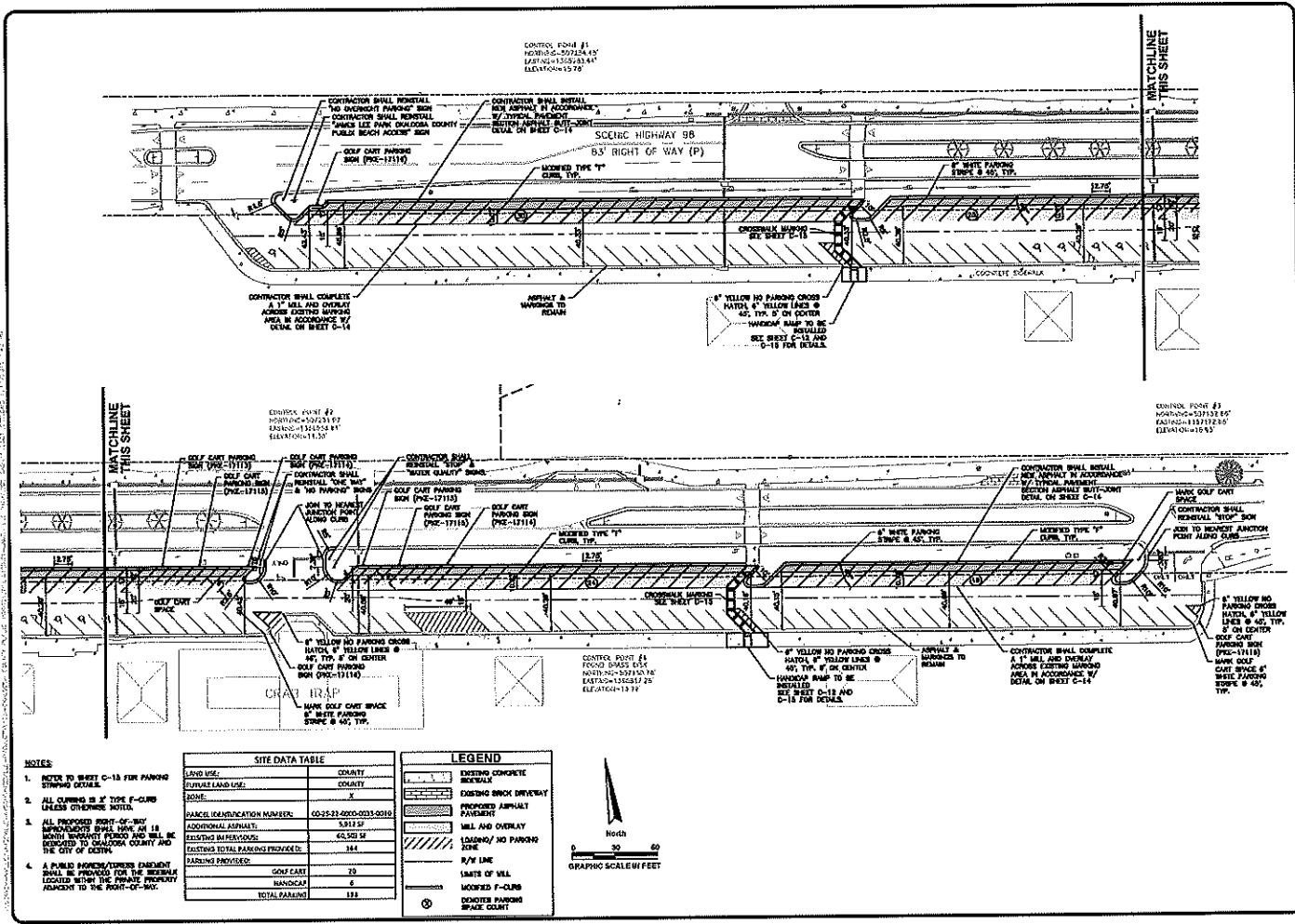
TOMAS & MATTHEW
 ENGINEERS AND ARCHITECTS
 1000 W. 10TH AVENUE, SUITE 100
 OKALOOSA, FLORIDA 32570
 PHONE: 904.261.1111
 FAX: 904.261.1112
 WWW.TOMASANDMATTHEW.COM

JAMES LEE PARK
 PREPARED FOR
OKALOOSA COUNTY
 PUBLIC WORKS

DEMOLITION AND EROSION CONTROL PLAN (ADDITIONAL ALT. NO. 1)
 BSS DESIGN SOURCE

DESIGNED BY: TOMMAS
 DRAWN BY: WJA
 CHECKED BY: WCL
 PROJECT NO.: 18-0101P
 DATE: JANUARY 6, 2018

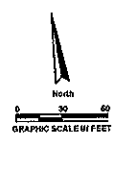
SHEET NUMBER
C-7



- NOTES**
- REFER TO SHEET C-13 FOR PARKING STRIPING DETAILS.
 - ALL CURBING IS 8" TYPE F-CURB UNLESS OTHERWISE NOTED.
 - ALL PROPOSED RIGHT-OF-WAY IMPROVEMENTS SHALL BE COMPLETED WITHIN 18 MONTHS OF THE DATE OF THE CITY OF DESTIN APPROVAL AND WILL BE SUBJECT TO OKLAHOMA COUNTY AND THE CITY OF DESTIN.
 - A PUBLIC PARKING/STREET LIGHTING SHALL BE PROVIDED FOR THE SIGNATURE LOCATED WITHIN THE PRIVATE PROPERTY ADJACENT TO THE RIGHT-OF-WAY.

SITE DATA TABLE	
LAND USE:	CITY
SURFACE LAND USE:	CONCRETE
ZONE:	X
PLANS IDENTIFICATION NUMBER:	00-2523-000-033-0303
ADDITIONAL ASPHALT:	5,912 SF
EXISTING IMPROVEMENTS:	45,520 SF
EXISTING TOTAL PARKING PROVISIONS:	184
PARKING PROVIDED:	
GOLF CART:	20
HANDICAP:	6
TOTAL PARKING:	132

LEGEND	
[Symbol]	EXISTING CONCRETE SURFACE
[Symbol]	EXISTING BRICK DRIVEWAY
[Symbol]	PROPOSED ASPHALT PAVEMENT
[Symbol]	MILL AND OVERLAY
[Symbol]	UNIMPROVED/NO PARKING ZONE
[Symbol]	R/W LINE
[Symbol]	LIMITS OF MILL
[Symbol]	WOODEN F-CURB
[Symbol]	DEDICATED PARKING SPACE COURT



AVCON, INC.
ENGINEERS & PLANNERS
1000 W. 10TH ST., SUITE 100
TULSA, OK 74106
TEL: 918.438.1111
WWW.AVCONINC.COM

AVCON
TRANSFORMING TODAY'S IDEAS INTO TOMORROW'S REALITY

TOMAS & WATSON
PL 152482 NO. 64653
P&A CERTIFICATE OF APPROXIMATION NO. 0627

SITE PLAN (BASE BID)
DRAWN BY: TMS
DATE: DECEMBER 2010

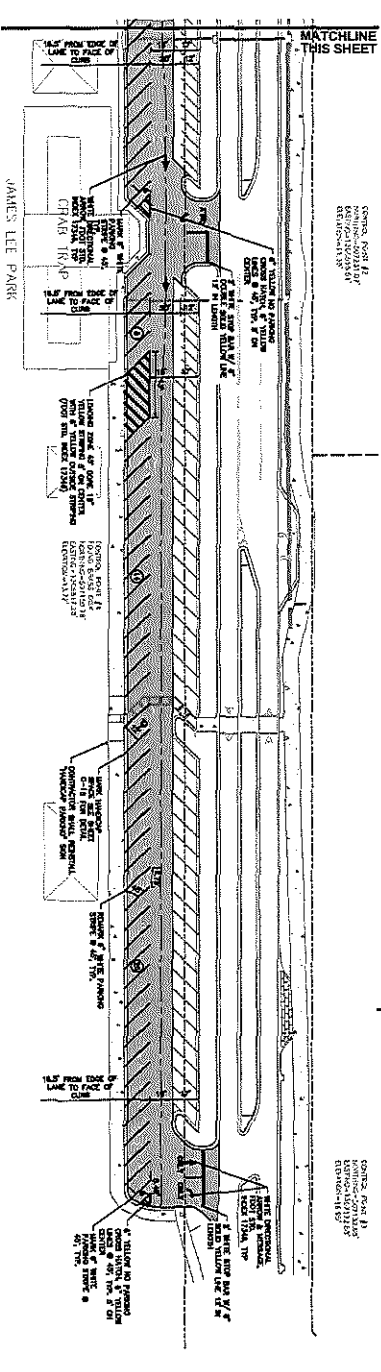
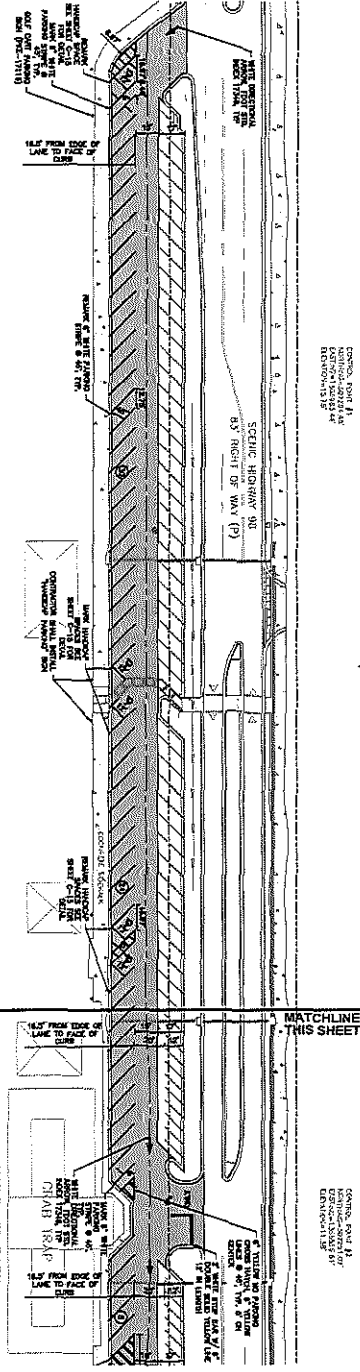
JAMES LEE PARK
PROPOSED FOR
OKLAHOMA COUNTY
PUBLIC WORKS

DESIGNED BY: TOMAS
DRAWN BY: TMS
CHECKED BY: TMS
APPROVED BY: VGL
PROJECT NO.: 151318
DATE: JANUARY 17, 2011

SHEET NUMBER
C-8

CONTRACT NO. 14-210
 COUNTY OF OKLAHOMA
 DIVISION OF PUBLIC WORKS
 DESIGN NO. 2012-10-01

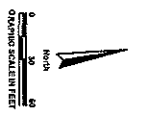
CONTRACT NO. 14-210
 COUNTY OF OKLAHOMA
 DIVISION OF PUBLIC WORKS
 DESIGN NO. 2012-10-01



1. BRIDGE WIDTH IS C-18 FROM PARAPETS.
2. ALL DIMENSIONS IN 5' (5'-0") UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS IN 1/4" (1/4") UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS IN 1/8" (1/8") UNLESS NOTED OTHERWISE.

SITE DATA TABLE		
OWNER	COUNTY OF OKLAHOMA	
PROJECT	JAMES LEE PARK	
DRAWN BY	J. W. ...	
CHECKED BY	J. W. ...	
DATE	10/25/12	
SCALE	AS SHOWN	
CONTRACT NO.	14-210	
DRAWING NO.	03	
TOTAL DRAWINGS	231	

LEGEND		
	CONCRETE	CONCRETE
	STEEL REINFORCEMENT	STEEL REINFORCEMENT
	STEEL REINFORCEMENT IN CONCRETE	STEEL REINFORCEMENT IN CONCRETE
	STEEL REINFORCEMENT IN CONCRETE	STEEL REINFORCEMENT IN CONCRETE
	STEEL REINFORCEMENT IN CONCRETE	STEEL REINFORCEMENT IN CONCRETE



AVCON, INC.
 ENGINEERS & PLANNERS
 376 BAYSHORE DRIVE, SUITE A
 OKLAHOMA CITY, OKLAHOMA 73104
 OFFICE: 405.476.8999
 COMMERCIAL CREDENTIAL NO. 9007
 AUTHORIZATION NUMBER 1007
 www.avconinc.com

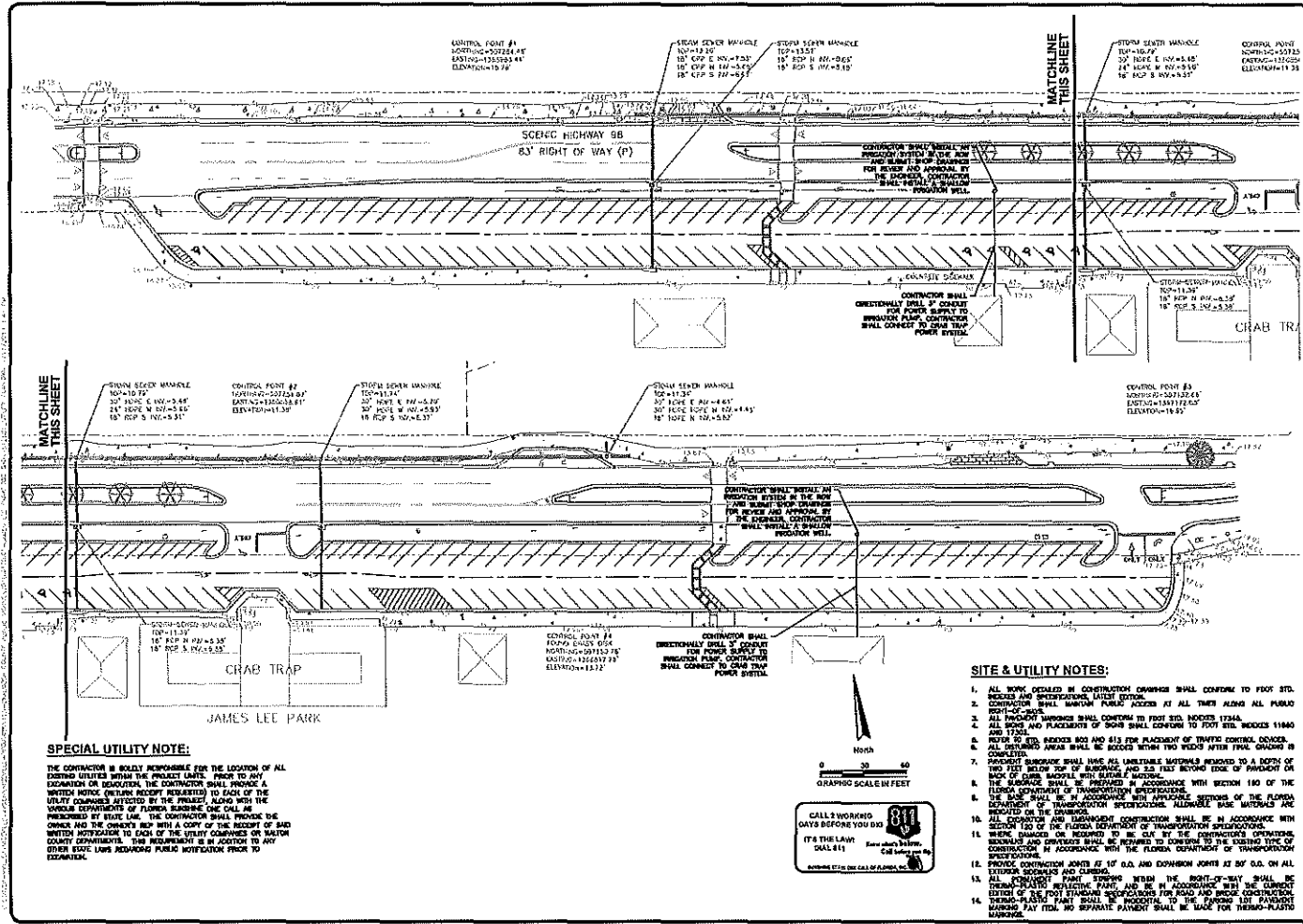
AVCON
 TRANSFORMING TODAY'S IDEAS
 INTO TOMORROW'S REALITY

JAMES LEE PARK

PREPARED FOR
OKALOOSA COUNTY PUBLIC WORKS

SITE PLAN (ADDITIVE BID ALTERNATE NO. 1)
 DRAFT
 80% DESIGN DRAWINGS

DESIGNED BY: TAYLOR
 DRAWN BY: J. W. ...
 CHECKED BY: J. W. ...
 DATE: 10/25/12
 SHEET NUMBER:
C-9



SPECIAL UTILITY NOTE:

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS. PRIOR TO ANY EXCAVATION OR INSTALLATION, THE CONTRACTOR SHALL PROVIDE A WRITTEN NOTICE (RETURN RECEIPT REQUESTED) TO EACH OF THE UTILITY COMPANIES AFFECTED BY THE PROJECT, ALONG WITH THE VARIOUS DEPARTMENTS OF FLORIDA BUREAU ONE CALL AS PRESCRIBED BY STATE LAW. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE OWNER'S REP WITH A COPY OF THE RECEIPT OF SAID WRITTEN NOTIFICATION TO EACH OF THE UTILITY COMPANIES OR MALDEN COUNTY COMMISSIONERS. THIS REQUIREMENT IS IN ADDITION TO ANY OTHER STATE LAWS REGARDING PUBLIC NOTIFICATION PRIOR TO EXCAVATION.

0 30 60
GRAPHIC SCALE IN FEET

CALL 5 WORKHOURS
BEFORE YOU DIG
IT'S THE LAW!
DALE 811
Call before you dig.
BUREAU OF THE STATE OF FLORIDA, INC.

SITE & UTILITY NOTES:

1. ALL WORK OBTAINED IN CONSTRUCTION CHANGES SHALL conform TO FIRST STD. SPECIES AND INTERFERENCES, LATEST EDITION.
2. CONTRACTOR SHALL MAINTAIN PUBLIC ACCESS AT ALL TIMES ALONG ALL PUBLIC RIGHTS-OF-WAY.
3. ALL UTILITIES DEPOSED SHALL conform TO FIRST STD. SPECIES 173.04.
4. ALL SOIL AND PLACEMENT OF SOIL SHALL conform TO BOTH STD. SPECIES 119.00 AND 173.00.
5. ALL DISTURBED AREAS SHALL BE RESTORED WITHIN TWO FEET AFTER FINAL GRADE IS COMPLETED.
6. PROJECT SURBORNER SHALL USE ALL UNDESIRABLE MATERIALS REMOVED TO A DEPTH OF TWO FEET BELOW TOP OF SURBORNER, AND 10 FEET BELOW EDGE OF FURNISH OR BACK OF CURB MANHOLE WITH FUTURE MATERIALS.
7. THE SURBORNER SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 110 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
8. THE BASE SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. ALLOWABLE BASE MATERIALS ARE PROVIDED ON THE DRAWINGS.
9. ALL CONTRACTOR AND SUBCONTRACTOR CONTRACTOR SHALL BE IN ACCORDANCE WITH SECTION 120 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
10. WHEN CHANGED OR REQUESTED TO BE CHANGED BY THE CONTRACTOR'S CHAIRMAN, BIDDING AND CHANGES SHALL BE RETURNED TO DRAWING TO THE LATEST DATE OF DISTRIBUTION IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
11. PROVIDE CONTRACTOR JOINTS AT 10' O.C. AND DOWNHOLE JOINTS AT 30' O.C. ON ALL UTILITY EXCAVATION AND CHANGES.
12. ALL EXCAVATION SHALL BE REPAIRED WITHIN THE WORK-AREA. ALL EXCAVATION SHALL BE REPAIRED WITHIN THE WORK-AREA WITHIN THE WORK-AREA AND SHALL BE REPAIRED WITHIN THE WORK-AREA AND SHALL BE REPAIRED WITHIN THE WORK-AREA.
13. ALL EXCAVATION SHALL BE REPAIRED WITHIN THE WORK-AREA. ALL EXCAVATION SHALL BE REPAIRED WITHIN THE WORK-AREA.
14. ALL EXCAVATION SHALL BE REPAIRED WITHIN THE WORK-AREA. ALL EXCAVATION SHALL BE REPAIRED WITHIN THE WORK-AREA.

AVCON, INC.
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WWW.AVCONINC.COM

AVCON

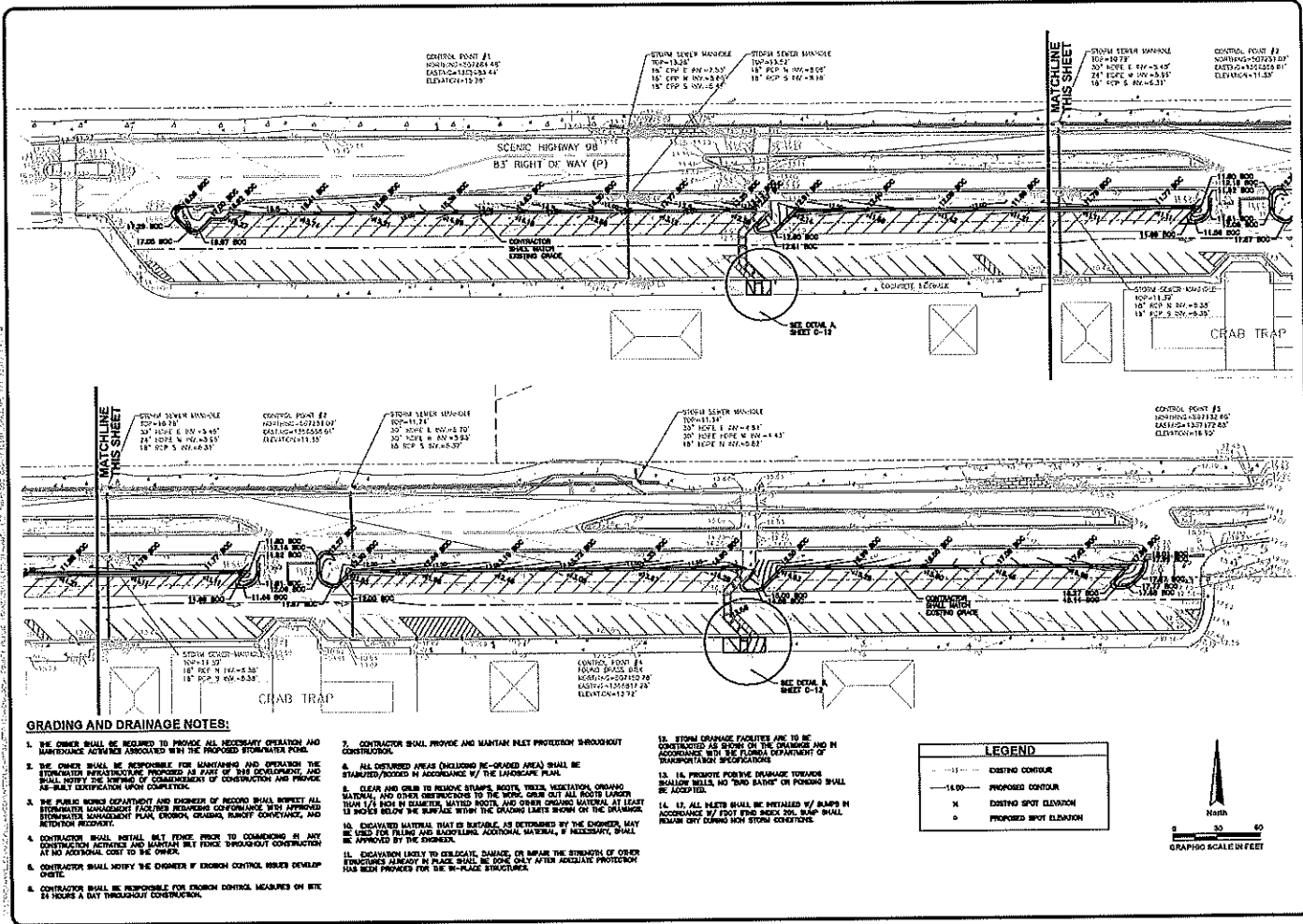
PROFESSIONAL QUALITY IDEAS
UNIQUE DESIGN SOLUTIONS

OKLAHOMA
OKLAHOMA STATE BOARD OF PROFESSIONAL ENGINEERS
PUBLIC ENGINEERING
TOMAS D. MATSON
REGISTERED PROFESSIONAL ENGINEER
P.E. CERTIFICATE #2
AUTHORIZATION NO. 2003

UTILITY PLAN
DRAFT
OKLAHOMA COUNTY
PUBLIC WORKS
85% DESIGN DRAWINGS

JAMES LEE PARK
UNRAVING
OKLAHOMA COUNTY
PUBLIC WORKS

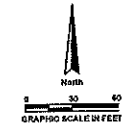
DESIGNED BY: TOMAS D. MATSON
DRAWN BY: JAMES LEE
CHECKED BY: TOMAS D. MATSON
APPROVED BY: VOL. #1
PROJECT NO: 1881261
DATE: JANUARY 12, 2011
SHEET NUMBER
C-10



GRADING AND DRAINAGE NOTES:

1. THE OWNER SHALL BE REQUIRED TO PROVIDE ALL NECESSARY OPERATION AND MAINTENANCE ACTIVITIES ASSOCIATED WITH THE PROPOSED STORMWATER POND.
2. THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING AND OPERATING THE STORMWATER INFRASTRUCTURE PROVIDED AS PART OF THIS DEVELOPMENT AND SHALL NOTIFY THE TOWNSHIP OF ANY CHANGES OF CONSTRUCTION AND PROVIDE AS-BUILT CERTIFICATION UPON COMPLETION.
3. THE PUBLIC WORKS DEPARTMENT AND ENGINEER OF RECORD SHALL REVIEW ALL STORMWATER MANAGEMENT FACILITIES REGARDING CONFORMANCE WITH APPROVED STORMWATER MANAGEMENT PLAN, EROSION CONTROL, RUNOFF COEFFICIENT, AND RETENTION NECESSARY.
4. CONTRACTOR SHALL INSTALL BELT FENCE PRIOR TO COMMENCING IN ANY CONSTRUCTION ACTIVITY AND MAINTAIN BELT FENCE THROUGHOUT CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
5. CONTRACTOR SHALL NOTIFY THE ENGINEER IF EROSION CONTROL ISSUES DEVELOP DURING.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL MEASURES ON SITE 24 HOURS A DAY THROUGHOUT CONSTRUCTION.
7. CONTRACTOR SHALL PROVIDE AND MAINTAIN INLET PROTECTION THROUGHOUT CONSTRUCTION.
8. ALL DISTURBED AREAS (INCLUDING RE-GRADED AREAS) SHALL BE STABILIZED/BOICED IN ACCORDANCE WITH THE LANDSCAPE PLAN.
9. CLEAR AND GRUB TO REMOVE STUMPS, ROOTS, WEEDS, VEGETATION, OBVIOUS MATERIAL, AND OTHER OBSTRUCTIONS TO THE WORK. GRUB OUT ALL ROOTS LARGER THAN 1 1/2 INCHES IN DIAMETER, BRANCHED ROOTS, AND OTHER OBVIOUS MATERIAL AT LEAST 12 INCHES BELOW THE SURFACE WITHIN THE GRADING LIMITS SHOWN ON THE DRAWING.
10. EXCAVATED MATERIAL THAT IS SUITABLE, AS DETERMINED BY THE ENGINEER, MAY BE USED FOR FILLING AND BACKFILLING ADDITIONAL MATERIAL, IF NECESSARY, SHALL BE APPROVED BY THE ENGINEER.
11. EXCAVATION LIKELY TO CAUSE DAMAGE, OR IMPAIR THE STRUCTURE OF OTHER STRUCTURES ALREADY IN PLACE SHALL BE DONE ONLY AFTER ADEQUATE PROTECTION HAS BEEN PROVIDED FOR THE IN-PLACE STRUCTURES.
12. STORM DRAINAGE FACILITIES ARE TO BE CONSTRUCTED AS SHOWN ON THE DRAWING AND IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
13. IN PROTECTIVE POSITIVE DRAINAGE TOWARDS SEWAGE MAINS, NO "TARD BARRIERS" OR POOLING SHALL BE ACCEPTED.
14. ALL INLETS SHALL BE INSTALLED BY RAMPS IN ACCORDANCE WITH FOOT AND ROAD CURB AND RAMP SHALL REMAIN DRY DURING NON STORM CONDITIONS.

LEGEND	
- - -	EXISTING CONTOUR
—	PROPOSED CONTOUR
X	EXISTING SPOT ELEVATION
o	PROPOSED SPOT ELEVATION

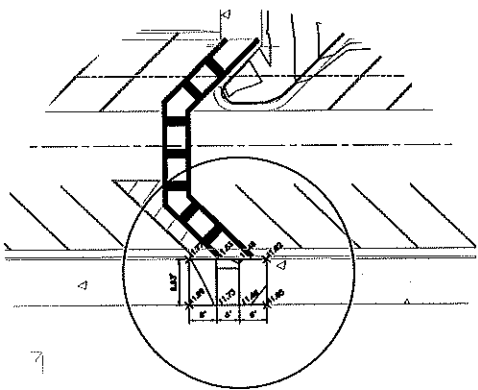


AVCON, INC.
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 FAX: 352-336-1112
 WWW.AVCONINC.COM

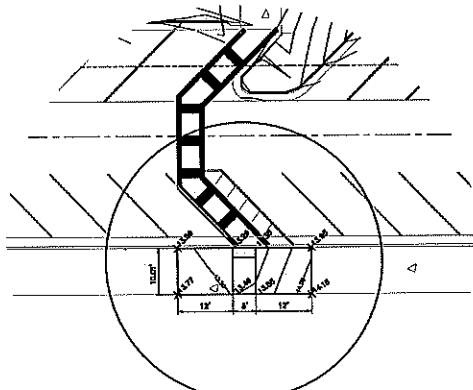
AVCON
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 PHONE: 352-336-1111
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JAMES LEE PARK
 PREPARED FOR
 OKALOOSA COUNTY
 PUBLIC WORKS

DESIGNED BY: TOM VNS
 DRAWN BY: TOM VNS
 CHECKED BY: VCC
 APPROVED BY: VCC
 PROJECT NO: 181105P
 DATE: JANUARY 17, 2018
 SHEET NUMBER
C-11



RAMP A DETAIL



RAMP B DETAIL

North

0 10 20
GRAPHIC SCALE IN FEET

LEGEND

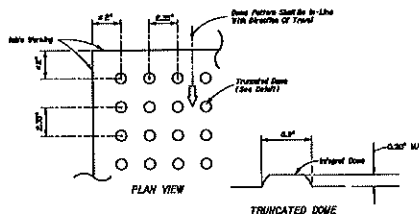
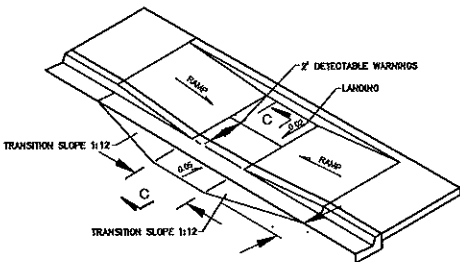
- --- EXISTING CONTOUR
- — — PROPOSED CONTOUR
- X EXISTING SPOT ELEVATION
- o PROPOSED SPOT ELEVATION

2. CONTRACTOR SHALL NOTE GRADE ELEVATIONS OF ALL CURB RAMPS ON THIS PLAN.

HANDICAP GENERAL NOTES:

1. HANDICAP RAMPS AND WALKWAYS SHALL CONFORM TO THE LATEST STANDARDS OF THE "UNIFORM FEDERAL ACCESSIBILITY STANDARDS" ESTABLISHED BY THE AMERICANS WITH DISABILITIES ACT (ADA) OF 2010.

SIDEWALK CURB RAMP DETAIL
N.T.S.
PER FOOT STANDARD INDEX 304



DETECTABLE WARNING
N.T.S. - COLOR BY LOCAL ORDINANCE

AVCON, INC.
ENGINEERS AND ARCHITECTS
1000 N. 10TH AVENUE
DENVER, CO 80202
PHONE: 303.733.1111
WWW.AVCON.COM

AVCON
REGISTERED PROFESSIONAL ENGINEERS
REGISTERED PROFESSIONAL ARCHITECTS
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECTS

TOMAS D. HATTON
FLORIDA REG. NO. 14813
P.E. REG. NO. 14813
AUTHORIZATION NO. 24813

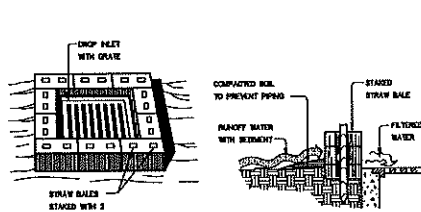
GRADING DETAILS	RAMP DESIGN DRAWINGS
JAMES LEE PARK	OKALOOSA COUNTY PUBLIC WORKS
DESIGNED BY: TDM	CHECKED BY: TDM
APPROVED BY: TDM	DATE: JANUARY 11, 2011
PROJECT NO: 11-01-01	SHEET NUMBER
C-12	

GROUNDWATER CONTROL NOTES:

1. GROUNDWATER WILL BE MONITORED DURING CONSTRUCTION OPERATIONS. MONITORING SHALL BE PERFORMED DURING PERIODS OF NORMAL GROUNDWATER LEVELS. SEASONAL HIGH GROUNDWATER OR DURING AND IMMEDIATELY FOLLOWING THE PASSING OF SIGNIFICANT STORM EVENTS, TO ALLOW FOR PROPER SURFACE ESTABLISHMENT AND THE INSTALLATION OF SURFACE UTILITIES.
2. AT THE TIME OF CONSTRUCTION, GROUNDWATER SHALL BE LOWERED AND CONTINUOUSLY MAINTAINED AT A MINIMUM DEPTH OF TWO FEET BELOW THE DEEPEST EXCAVATION TO PERMIT CONSTRUCTION OF THE DRAINAGE SYSTEM SHALL BE INSTALLED AND OPERATIONAL PRIOR TO EXCAVATION BEHIND THE WATER TABLE. THE DRAINAGE SYSTEM SHALL OPERATE CONTINUOUSLY (7 DAYS PER WEEK, 24 HOURS PER DAY) UNTIL THE BELOW GRADE CONSTRUCTION IS COMPLETE.
3. THE CONTRACTOR SHALL BE PREPARED TO ACCIDENT FOR UNUSUAL FLOODING/UNEXPECTEDLY HIGHLY FLOODING GROUNDWATER CONDITIONS WHICH MAY BE PRESENT DURING CONSTRUCTION, PARTICULARLY IF THE SITE IS NOT PROPERLY GRADED DURING CONSTRUCTION TO PREVENT THE ACCUMULATION OF STORMWATER RUNOFF DURING AND IMMEDIATELY FOLLOWING SIGNIFICANT RAIN EVENTS FROM FLOWING ON THE UNDERLYING AND CLAYEY SOILS. THE CONTRACTOR SHALL GRADE ALL AREAS TO ALLOW TO FLOW TO THE PROPER DRAINAGE DURING CONSTRUCTION. UNUSUAL FLOODING/UNEXPECTEDLY HIGHLY FLOODING GROUNDWATER CONDITIONS DURING THE EARLY PHASE OF THIS DEVELOPMENT, MOST LIKELY LOCALIZED DRAINAGE EVENTS (E.G., CONSTRUCTION OFFICES, TEMPORARY STAGING, ETC.) WILL SURFACE TO ALLOW FOR EARLYWORK OPERATIONS TO BE PERFORMED IN DRY CONDITIONS.
4. MAINTAINING PROPER GRADES (I.E. POSITIVE DRAINAGE PATTERNS) DURING THE CONSTRUCTION PHASE OF THIS PROJECT WILL BE CRUCIAL TO AVOID THE DEVELOPMENT OF "MUD MATHS" WITHIN THE FOOTPRINTS OF THE PROPOSED PAVEMENT AREAS, WHICH WOULD EXPOSE THE UNDERLYING SOILS AND CLAYEY SOILS AND BECOME UNDERSTANDING TO MORE FINE UNDERLYING SOILS. EXCAVATIONS SHOULD NOT BE LEFT OPEN FOR A PROLONGED PERIOD OF TIME FOR THE SAME REASON.
5. DESIGN AND IMPLEMENTATION OF TEMPORARY DRAINAGE SYSTEMS, AND ANY TEMPORARY STORAGE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTAINING THE ACTUAL GROUNDWATER ELEVATIONS AT THE TIME OF CONSTRUCTION. SINCE DRAINAGE SYSTEM CONSTRUCTION IS PARTIALLY DEPENDENT ON THE TERRAIN AND ELEVATIONS OF THE CONSTRUCTION, THE SYSTEM SHOULD FIRST BE INSTALLED BY A CONTRACTOR WITH A MINIMUM OF FIVE (5) YEARS OF EXPERIENCE IN DRAINAGE SYSTEM DESIGN AND INSTALLATION. DESIGN FLEXIBILITY SHOULD BE ALLOWED FOR THE CONTRACTOR TO CHOOSE THE MOST APPROPRIATE DRAINAGE SYSTEM, INCLUDING THE WELL DEPTH AND SPACING.
6. AS PREVIOUSLY NOTED, GROUNDWATER LEVELS ARE SUBJECT TO SEASONAL, CLIMATE AND OTHER VARIATIONS AND MAY BE DIFFERENT AT OTHER TIMES AND LOCATIONS. THE DESIGN AND NATURE OF ANY DRAINAGE REQUIRED DURING CONSTRUCTION WILL BE DEPENDENT ON THE ACTUAL GROUNDWATER CONDITIONS PRESENT AT THE TIME OF CONSTRUCTION AND THE EXTENT OF CONSTRUCTION DAMAGE TO PREVENT RUN-OFF INTO OPEN EXCAVATIONS.
7. PAYMENT FOR ALL GROUNDWATER CONTROL AND MONITORING REQUIRED TO CONSTRUCT THE SURFACE IMPROVEMENTS SHALL BE INCORPORATED TO THE BIDDING FOR THIS WORK IN A PART OF, NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR GROUNDWATER CONTROL AND MONITORING.

DUST CONTROL REQUIREMENTS NOTES:

1. GROUND OPERATIONS WILL NOT BE CONDUCTED WHEN WINDS EXCEED 30 MPH PER HOUR.
2. WATER SHALL BE APPLIED WITH HOSE OR WATER TRUCK, AS NECESSARY, DURING EXCAVATION ACTIVITIES.
3. CONTRACTOR SHALL ENSURE THAT ANY OPEN-ENDED TRUCKS, TRAILERS OR OTHER VEHICLES TRANSPORTING PARTICULATE MATTER SHALL BE COVERED OR WETTED TO MINIMIZE DUST GENERATION DURING TRANSPORT.
4. EXPOSED MATERIAL SHALL BE COVERED OR WETTED, AS REQUIRED, TO MINIMIZE DUST GENERATION DURING HIGH WIND CONDITIONS.
5. CONTRACTOR SHALL MINIMIZE THE HEIGHT INVOLVED IN TRANSPORT PROCESSES INVOLVING FREE FALL OF SOIL OR OTHER PARTICULATE MATTER TO MINIMIZE DUST GENERATION.
6. WATER SHALL BE APPLIED BY HOSE OR WATER TRUCK, AS NECESSARY, TO UNPAVED SURFACES, INCLUDING ADJACENT HOIST-UP-RAYS, OR ANY OTHER SURFACE THAT COULD CREATE AIRBORNE DUST. GRADED COVER SHALL BE PLACED FOR ALL OPEN AREAS IMMEDIATELY AFTER CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
7. DESIGNATED AREAS WITHIN THE JOB SITE THAT WILL BE USED BY VEHICLES TRANSPORTING SOIL OR OTHER MATERIALS TO AND FROM THE SITE SHALL BE CLEARLY MARKED.
8. CONTRACTOR SHALL PROVIDE BARRIERS, BROOMS, WATER, OR PRESSURE WASHERS, AS REQUIRED, TO REMOVE SOIL, SAND, DIRT AND ANY OTHER PARTICULATE MATTER FROM VEHICLE TIRES AND UNDERCARRIAGES PRIOR TO LEAVING THE SITE IN ORDER TO PREVENT THE TRACKING OUT OF SAND, SOIL, SAND, DIRT AND ANY OTHER PARTICULATE MATTER ONTO THE ADJACENT HOIST-UP-WAYS.
9. MAXIMUM SPEED OF CONSTRUCTION EQUIPMENT OR MATERIAL DELIVERIES SHALL BE 30 MPH PER HOUR.
11. ANY SOIL, SAND AND OTHER MATERIALS DEPOSITED OR LAMINATED ONTO ANY HOIST-UP-WAYS NEAR THE SITE SHALL BE REMOVED WITHIN 48 HOURS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT DUST CONTROL SYSTEMS AND/OR DEVICES, INCLUDING BUT NOT LIMITED TO WATER APPLICATION SYSTEMS, FILTER REPLACEMENT, OR DAILY REMOVAL OF EXCESS DUST FROM GOVERNMENT AREAS ARE IN PROPER WORKING CONDITION PER MANUFACTURER'S REQUIREMENTS OR STANDARD INDUSTRY PRACTICE.
13. THE CONTRACTOR SHALL MONITOR DUST EXPOSURE TO ENSURE COMPLIANCE WITH RELEVANT REGULATORY REQUIREMENTS.
14. THE CONTRACTOR SHALL MAINTAIN A DAILY DUST CONTROL CHECKLIST AND SHALL PROVIDE TO THE CITY UPON REQUEST TO DOCUMENT COMPLIANCE WITH THESE REQUIREMENTS AND MAINTAIN AT THE JOB SITE AT ALL TIMES.



STRAW BALE DROP INLET SEDIMENT FILTER
K.T.A.

SPECIAL APPLICATION

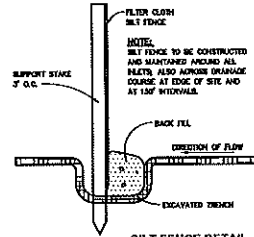
THIS METHOD OF DIRT PROTECTION IS APPLICABLE WHERE THE SILET GRADES IS RELATIVELY FLAT AREA (SLOPES NO GREATER THAN 6 PERCENT) WHERE SILET OR GRASSLAND FLOWS (NOT EXCEEDING 0.5 CFS) ARE TYPICAL. THIS METHOD SHALL NOT APPLY TO SILET RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIAN.

VIBRATION IMPACT MITIGATION REQUIREMENTS:

1. NO VIBRATORY CONSTRUCTION EQUIPMENT SHALL BE USED.
2. METHODS FOR ANY FILL ORIGIN, EXCAVATION, COMPACTED, CONCRETE AND ASPHALT BREAKING WILL NOT TRANSMIT VIBRATIONS TO RESIDENT RECEPTORS AT OR ABOVE THE FEDERAL TRAVEL ADMINISTRATION (FTA) APPROXIMATE VIBRATION DAMAGE THRESHOLD OF 85 VIBRATION DECIBELS (VdB).
3. CONTRACTOR SHALL PROVIDE A WRITTEN DESCRIPTION FOR HOW TO MINIMIZE THE IMPACT ON SURROUNDING PROPERTIES FOR ANY ACTIVITY EXCEEDING THE APPROXIMATE FTA VIBRATION APPROXIMATE THRESHOLD OF 80 VdB.

CONSTRUCTION SCREENING NOTES:

1. CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCREENING AROUND SITE DURING CONSTRUCTION IN ACCORDANCE WITH SECTION 100.00 OF THE CITY OF OKALOOSA.
2. THE SCREENING MATERIAL SHALL BE MADE OF AN INERTIAL MATERIAL CAPABLE OF ALLOWING AIR TO PASS BUT NON-PERMISSIVE TO DIRT AND SAND. THE SCREENING SHALL BE OF A FINENESS SUCH THAT NO MATERIAL OVER ONE-EIGHTH (1/8) INCH IN SIZE SHALL PASS THROUGH THE SCREEN.
3. SUCH SCREENING SHALL BE IMMEDIATELY ATTACHED TO THE CONSTRUCTION SITE, THE SCREENING MATERIAL SHALL BE MAINTAINED IN GOOD CONDITION AND MUST THROUGHOUT THE ALLOTTED PERIOD TIME. THE SCREENING MUST BE KEPT CLEAR FROM ANY MUD ACTION.
4. FORCE SCREENING SHALL HAVE A MINIMUM HEIGHT OF FIVE (5) FEET AND A MAXIMUM HEIGHT OF SEVEN (7) FEET. IN CASES WHERE THE FINISHED GRADE OF THE DEVELOPMENT SITE IS HIGHER BY MORE THAN ONE (1) FOOT OR MORE THAN THE GRADE OF THE ADJACENT PROPERTY, SAND FENCE SCREENING SHALL BE PLACED AT THE FINISHED GRADE AND NOT THE EXISTING GRADE.



SILT FENCE DETAIL
K.T.A.

EROSION NOTES:

1. EROSION PROTECTION: SOIL EROSION DURING CONSTRUCTION SHALL BE CONTROLLED AND RETAINED ON SITE DURING CONSTRUCTION. TEMPORARY EROSION PROTECTION, SUCH AS EXPOSED BALED HAY AND SILT FENCE BARRIERS, MUST BE INSTALLED PRIOR TO START OF CONSTRUCTION.
2. SILT FENCE BARRIERS SHALL BE INSTALLED AS SHOWN ON PLANS, AND IN ALL AREAS SUBJECT TO SOIL EROSION REGENERATION.
3. STORMWATER DRAINAGE CHANNELS SHALL BE BROADCAST.
4. ALL GRASSES AT CURBS ARE AT FLOWLINE.
5. EXPOSED FILTER FABRIC SHALL BE A PERMEABLE SHEET OF PROPYLENE, NYLON, POLYESTER, OR POLYETHYLENE TYPED, IT SHALL CONTAIN A STRANDED RAY AND STABILIZER TO PROVIDE A MINIMUM OF 8 MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0° TO 100°F.
6. THE STAKES FOR A SILT FENCE SHALL BE 4 X 3 INCHES (3/4 X 3/4) WOOD (PREFERRED), OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
7. SILET FENCE INTERMEDIATE FOR SILT FENCES USING STANDED RAY-REINFORCED FILTER FABRIC SHALL BE A MINIMUM OF 24 INCHES (24) IN HEIGHT, SHALL BE A MINIMUM OF 1/4 GAUGE, AND SHALL HAVE A MAXIMUM MESH SPACING OF 4 INCHES (4) INCH.
8. ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA SCIENTIFIC, DESIGN AND RECONSTRUCTION CONTROL INSPECTORS MANUAL, CHAPTER 5.

AVCON, INC.
ENGINEERS & PLANNERS
10000 W. 13TH AVENUE
DENVER, CO 80202
TEL: 303.752.1000
WWW.AVCON.COM

AVCON
PROFESSIONAL ENGINEERING
PROFESSIONAL LANDSCAPE ARCHITECTURE

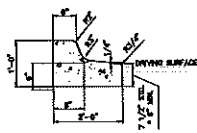
TOMAS & NATION
FLORIDA REGISTERED PROFESSIONAL ENGINEERS
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECTS
REGISTERED PROFESSIONAL SURVEYORS

MISCELLANEOUS DETAILS (1 OF 3)
90% DESIGN DRAWINGS

JAMES LEE PARK
PREPARED FOR
OKALOOSA COUNTY PUBLIC WORKS

DESIGNED BY: TDW/MS
DRAWN BY: VMS
CHECKED BY: TCR
APPROVED BY: VCL
PROJECT NO.: 18-0150
DATE: JANUARY 05, 2018

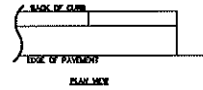
SHEET NUMBER
C-13



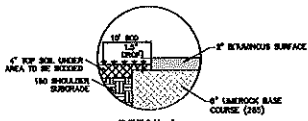
* NOTE: WHEN USED ON INSIDE SIDE OF ROADWAYS, THE CROSS SLOPE OF THE CURB SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE PROPOSED OF THE IS SHALL BE 4", UNLESS OTHERWISE SHOWN ON PLANS.

MODIFIED TYPE "F" CURB DETAIL
N.T.S.

PER FOOT STANDARD PUCK 300

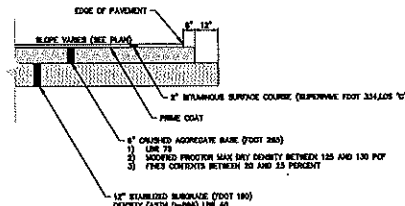


CURB TAPER DETAIL
N.T.S.

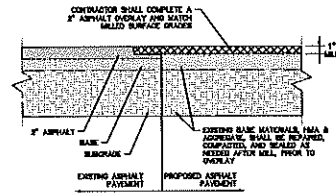


DETAIL A

TRANSITION COMPACTED SHOULDER TO EDGE OF PAVEMENT
N.T.S.



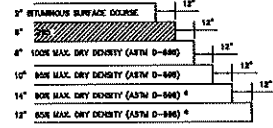
TYPICAL PAVEMENT SECTION
N.T.S.



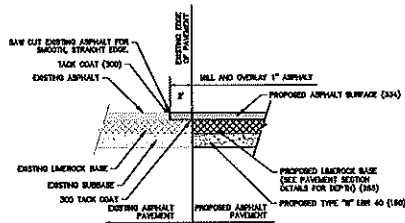
NOTES:

- CONTRACTOR SHALL COMPLETE A 1" MILL ACROSS EXISTING PAVEMENT TO REHAR.
- CONTRACTOR SHALL REPAIR AND SEAL ALL JOINTS PRIOR TO OVERLAY.
- CONTRACTOR SHALL COMPLETE THE 1" OVERLAY AT THE TIME OF NEW PAVEMENT INSTALLATION.
- NEW PAVEMENT 1" SMA BASE SHALL BE AT SAME ELEVATION OF MILED SURFACE PRIOR TO OVERLAY/MA TOPCOAT INSTALLATION.

MILL / OVERLAY SECTION
N.T.S.



DETAIL B
SUBGRADE COMPACTION
N.T.S.



ASPHALT/ASPHALT PAVEMENT BUTT JOINT DETAIL
N.T.S.

AVCON, INC.
ENGINEERS & PLANNERS
1000 N. W. 10TH AVENUE
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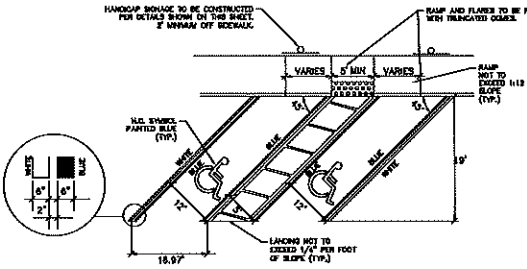
TABLE D: NATION
FILE NUMBER: 44511
FIPS CERTIFICATE OF AUTHORIZATION: 44511

NO.	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			
7			
8			
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10			

MISCELLANEOUS
DETAILS (2 OF 3)
PERMIT
BOX DESIGN DRAWINGS

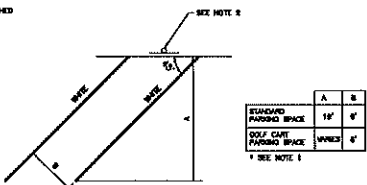
JAMES LEE PARK
PREPARED FOR
OKALOOSA COUNTY
PUBLIC WORKS

DESIGNED BY: TMO/VYS
DRAWN BY: VYS
CHECKED BY: TDM
APPROVED BY: VYS
PROJECT NO: 15-136-01
DATE: JANUARY 02, 2015
SHEET NUMBER
C-14



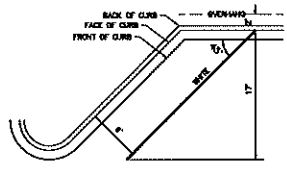
TYPICAL HANDICAPPED STRIPING AND RAMP DETAIL
N.T.S.

- NOTES:**
- EACH SUCH PARKING SPACE SHALL BE CONSPICUOUSLY OBTAINED IN BLUE PAINT OR THERMOPLASTIC, AND SHALL BE POSTED AND MAINTAINED WITH A PERMANENT ABOVE GRADE SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY, OR THE CAPTION "PARKING BY DISABLED PERMIT ONLY" OR BEARING BOTH SUCH SYMBOL AND CAPTION. SUCH SIGNS SHALL NOT BE OBTAINED BY A VEHICLE PARKED IN THE SPACE. ALL HANDICAPPED PARKING SPACES MUST BE SIGNED AND MAINTAINED IN ACCORDANCE WITH THE STANDARDS ADOPTED BY THE DEPARTMENT OF TRANSPORTATION.
 - F.D.O.T. RECOMMENDS MARKING PARKING SPACE WITH FROM CENTER TO CENTER BETWEEN BLUE STRIPES.
 - CONTRACTOR SHALL INSTALL TRIANGULAR CORNERS AT THE EXISTING SIDEWALK TRANSITION FROM THE FRONT-OF-WAY WHERE THE SIDEWALK TRAVERSES THE MAIN DRAINAGE ROUGHEN AND CORMING DRIVE.



- NOTES:**
- ALL PARKMENT MARKINGS SHALL CONFORM TO FOOT STRIP INDICES 17346.
 - EACH GOLF-CART PARKING SPACE SHALL BE CLEARLY DEMARCATED BY EITHER PAINTED MARKING SHOWING "GOLF CART" OR BEING STRIPED "GOLF CART PARKING".

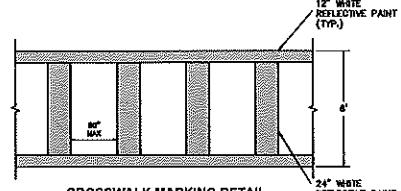
TYPICAL PARKING STRIPING DETAIL
N.T.S.



PARKING SPACE DETAIL
N.T.S.

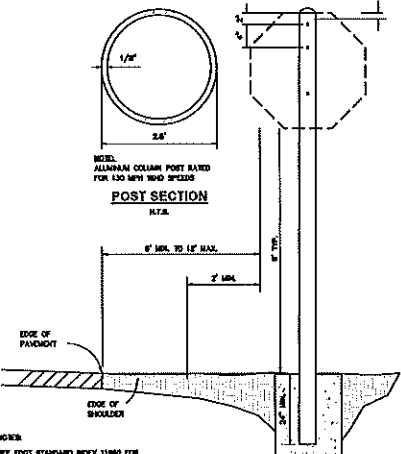


GOLF CART SIGN DETAIL
N.T.S.

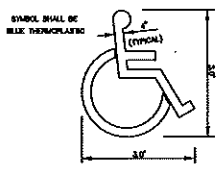


CROSSWALK MARKING DETAIL
N.T.S.

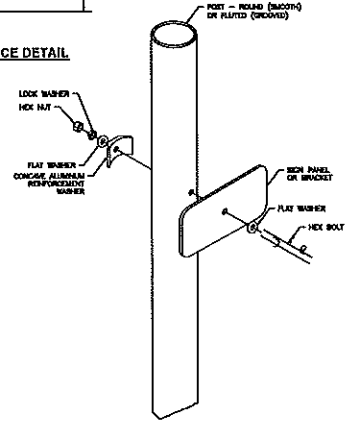
SEE FOOT STANDARD INDEX 17346 FOR PARKING MARKING DETAILS.



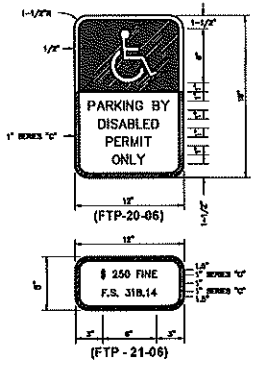
TRAFFIC SIGN POST DETAIL
N.T.S.



ACCESSIBLE PARKING SYMBOL
N.T.S.



MOUNTING DETAIL
N.T.S.



HANDICAP SIGN DETAIL
(FOOT INDEX No. 17360)
N.T.S.

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TOMAS B. HATHORN
REGISTERED PROFESSIONAL ENGINEER
STATE OF FLORIDA
NO. 12487
DATE: JANUARY 11, 2011

MISCELLANEOUS
DETAILS (3 OF 3)
DESIGN
SIX DESIGN DRAWINGS

JAMES LEE PARK
PREPARED FOR
OKALOOSA COUNTY
PUBLIC WORKS

DESIGNED BY: TBM/VM
DRAWN BY: VM
CHECKED BY: TM
PROJECT NO: 1817541
DATE: JANUARY 11, 2011

SHEET NUMBER
C-15